



THE BORDEAUX GRAPEVINE

Please welcome the first comprehensive issue of the Bordeaux Grapevine. You will now be able to say you really "heard it through the Grapevine". We are trying to establish a quarterly newsletter that Bordeaux residents will find interesting and informative. "The Grapevine" will provide you with information and issues concerning Bordeaux and its residents. We are looking to you, the residents of Bordeaux, to help us provide a diverse and informative newsletter. Please let us know if you have any issues or information you would like to have included in the next or following issues. Some possible topics are: announcements (babies, marriages, anniversaries, etc.), new neighbors, old neighbors leaving, accomplishments, graduations, achievements, advertisements, neighborhood issues or problems that need to be addressed, etc. **Feel free to contact Wanda Stamp (phone 704-892-3123) with any additions to the next newsletter.**

VINEYARD POINT vs. BORDEAUX

Did you all know that Bordeaux is actually part of Vineyard Point Yacht and Tennis Club? Some of the newer residents were not aware of this. The way it works is each townhome and condo unit has its own name and its own homeowner's association. Bordeaux also has its own homeowner's association. One board member from each association is a member of the Master Association. The Master Association's responsibility covers areas that are common to all residences. One example of a Master Association common area is the tennis courts.

VINEYARD POINT HAS ITS VERY OWN WEBSITE!!!!
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One of our long time residents, Bill Carter, designed this website years ago. I bet most residents do not even know of its existence. It is very helpful and includes web-links for traffic, weather, lake levels, restaurants, movies and much more. Please feel free to visit this website at www.vineyardpoint.com. Also, if you have any newer pictures or information you would like to have added to this website, please give Wanda Stamp a call.

From Neighbor to Neighbor

FOR SALE !!!!!

Have any items for sale? Call Wanda to place a free ad in the newsletter!!

NEIGHBORHOOD ISSUES AND CONCERNS:

• **DOGGIE DOO ISSUES**

Bordeaux Board members repeatedly receive calls and complaints concerning issues with pet cleanup and roaming unattended dogs. We remind you that Page 8 of the Declaration of Covenants, Conditions and Restrictions for Bordeaux, Section 8 states:

"Generally, all pets should be kept under their owner's control at all times and in compliance with applicable leash laws.

1. All dogs should be contained on the owner's lot or leashed when off the owner's property.
2. Owners are responsible for cleaning up any mess that a pet creates in any common area, as well as on any private property.
3. Owners are responsible for their animal's actions and are liable for any provable damages.
4. Each home is limited to three (3) pets.
5. Animals being a nuisance to owners will not be tolerated. This includes issues with noise. Should an issue arise, please try discussing the situation with the animal's owner before calling Animal Control.

The Town of Cornelius Leash Law States: **"Within the Town of Cornelius any animal, excluding cats, must be kept under sufficient physical restraint and control as to not be, or become, a nuisance."** Please, if you have pets that are walked or wander onto your neighbor's yards to do their business, be *considerate* and clean up after them. This includes the common areas.

• **RENTAL CONCERNS**

Several houses in the neighborhood are being rented out by their owners. Homeowners should provide these renters with a copy of the covenant restrictions, which they must abide by. Also, it is necessary to provide Hawthorne Management with the name and contact information of the renters.

• **PROPERTY UP-KEEP**

It is that time of year to get your homes and yards in good shape!

- ▶ Please keep the grass cut on a weekly basis during growing season.
- ▶ Keep weeds under control in the yard, plant beds and driveways.
- ▶ Edge driveways and sidewalks that are on your property.
- ▶ Repair, replace or re-paint mail boxes and posts
- ▶ Inspect your home for rotting wood, repair and painting needs.
- ▶ Garbage cans go out on Wednesday evening and are taken in after collections on Thursday-- if you are away, ask your neighbors to help.
- ▶ Going away? Stop your newspaper and mail or arrange for a good neighbor to help you out.

****Several complaints have been voiced regarding bags of topsoil/mulch and pine straw on driveways for long periods. It's OK to pile materials there WHILE you are working on your project, but any longer than a week--- starts to look bad. If you can't finish--move your materials inside your garage and out of sight from the road.**

NEIGHBORHOOD NEWS

- ▶ Speed Limit and caution signs on Montrachet and Monbrison are still in the works. According to the Police Department, the Town of Cornelius must approve speed limits for less than 25 miles per hour.
- ▶ The average sale time for homes in Bordeaux is approximately 3 months. The last homes to sell in Bordeaux were sold for between \$102 and \$108 per square foot. These were very good prices. Prices seem to be on the upswing.
- ▶ Speaking of selling homes, we were very sorry to have to say goodbye to some of our neighbors and friends this year. Tim and Angela Tucker moved just around the corner to Washam Potts Road. Keith Sides moved to Asheville. Others that moved were Fred Bulgin and Curtis McAlister.
- ▶ Matt and Tori Trexler are the proud parents of a baby girl, Madelyn, born on June 1st. **Congratulations on your beautiful baby girl! She's a cutie**
- ▶ New homeowners include Steve and Deanna Bomgardner on Asti Court, Janey Felz on Chardonnay Court, Lewis and Lynette Johnson on Montrachet Lane, Ann Puckett on Monbrison Circle, and Penny Gordon on Graysac Court. **Welcome to our neighborhood!**
- ▶ Let us know of any news or person that needs to be added for the next issue!

CRIME WATCH AND CRIME PREVENTION UPDATE

Bordeaux's Neighborhood Community Watch and Crime Prevention Program is in its second year of existence and continues to be a crime deterrent.

What is a community watch?

It is a crime prevention program that involves citizens working with each other and with law enforcement agencies to reduce crime and victimization in their communities.

Neighbors working together, renters and homeowners, can make a difference.

Report any suspicious activities to your block captain or Ralph Vestuti. Make note of the make, model, color, and license plate number of the car and the person or person's description.

Do not call 911 unless you see an actual crime taking place.

Community watch security tips

- Make your home look occupied
- Lock your doors (on your house AND cars)
- Do not leave valuable items in your cars!
- Use deadbolt locks and timers
- Don't hide a key outside
- Brace sliding glass doors
- Install good exterior lighting, preferably with motion detectors.
- Keep bushes and shrubs trimmed
- Stop mail and paper deliveries when you go on vacation even if only briefly

Community Watch block captains

Street Name	Block Captain	Phone Number	Number Houses	Number Teens
Grenache Ct.	Wanda Stamp	892-3123	6	
Chardonnay Ct.	Mariano Chow	892-9884	8	
Claret Ct.	John Currie	895-1926	7	
Graves Ct.	Need volunteer		6	
Chablis Ct	Leah LeClerc	896-7649	4	
Cabernet Ct.	Peggy & Mallory Liles	896-7277	6	
Graysac Ct.	Need volunteer		6	
Monbrison Circle2	Pat Gisinger	892-4018	9	
Montrachet Lane 1	Josh Harbeston	896-6809	7	
Montrachet Lane 2	Karen Yates	895-4070	6	
Asti Ct.	Cheryl Armstrong	655-9477	8	
Coordinator	Ralph Vestuti	987-8456		

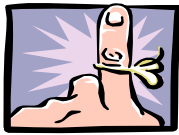
Block captains are needed for the following:

- Graysac Court - never has had a block captain.
- Chardonnay - Mariano is in the process of selling his house and we need a volunteer soon.
- Graves Court - Previous Coordinator has moved.

If anyone is interested in becoming a block captain please contact Ralph Vestuti, Crime Watch Coordinator.

YOUNG ENTREPRENEURS

If there are any young people who would like to advertise their services (i.e. pet sitting, babysitting, etc.) in the next newsletter, please call Wanda Stamp at 892-3123.



PLEASE REMEMBER:

- ▶ Don't forget to complete a Request for Architectural Approval form before starting any exterior project on your home!!! A copy of the form is attached to the newsletter. The request will be reviewed with the restrictive covenants in mind to ensure the beauty and livability of the neighborhood. Cornelius building permits still need to be acquired by you or your contractor if necessary.
- ▶ Parking of large commercial vehicles and boats in your driveways is not permitted.



VOLUNTEERS NEEDED

Other than the annual "Pig Picking", Bordeaux does not have many other social events. Some suggestions for social events have been a Christmas Party (which used to be part of Bordeaux's social agenda), a summer-time cookout, or a neighborhood yard sale.

Volunteers and ideas are most welcome!

Hawthorne Management Update

Please note that Ashley Rohats has left Hawthorne Management and is expecting her first child very soon. We wish her the best as she builds her family. Another manager has been transitioning her responsibilities and is now in charge of Bordeaux--- Kristi Alexander. We welcome Kristi to our community and look forward to working with her.

Bordeaux Homeowners Association Contacts

Kristi Alexander, Property Manager	704-377-0114 kalexander@hawthornemgmt.com	Hawthorne Management Co.
Cheryl Armstrong	704-655-9477	Co-President
Ralph Vestuti	704-987-8456	Co-President
Vince Watkins	704-895-3751	Vice-President
Wanda Stamp	704-892-3123	Treasurer
Leah LeClerc	704-896-7649	Secretary
Harold Woodson	704-896-7712	Architectural Review Chair

Please feel free to contact Wanda Stamp at 892-3123 with any items or ads you would like to see in the next newsletter. Please also call with any neighborhood ideas or concerns.

Request for Architectural Approval

Name: _____ Request Date: _____

Street Address: _____

Home Phone: _____ Work Phone: _____ Email: _____

What is the estimated start date: _____ Completion Date: _____

Type of Modification:

- | | | | |
|-------------------------------------|---|--|--------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Utility Building | <input type="checkbox"/> Exterior Painting | <input type="checkbox"/> Other |
| <input type="checkbox"/> Porch | <input type="checkbox"/> Pool | <input type="checkbox"/> Addition | |
| <input type="checkbox"/> Deck/Patio | <input type="checkbox"/> Garage | <input type="checkbox"/> Carport | |

Location: _____

Size: _____

Color: _____

Materials: _____

Contractor name: _____

Please read and follow instructions carefully:

1. Attach a detailed description of improvements including, if applicable:
Location, Size, Color, Material, Contractor name, Plans/drawings
2. Attach copy of property survey, with proposed changes/additions shown
3. Please include three (3) complete copies of the request (one will be returned to the requesting homeowner with Committee's response)
4. Deliver or mail the request and supporting documentation to:
Harold Woodson, Architectural Review Chair
7421 Monbrison Circle, Cornelius, NC 28031
Phone: 704-896-7712

Please Note:

- Complete one form per change (e.g., one request for a garage and one request for a fence). Multiple requests can be mailed in the same envelope.
- A copy of the Property Survey **must** be included for each request or the request will be returned.
- Committee reserves the right to request more information to clarify the request
- Please allow 2-3 weeks for the approval process

Architectural Review Committee Use Only

- Approved
 Denied. Reason for Denial:

(Name of Committee Member)

(Signature of Committee member)

(Date)